



Neighbourhood Plan Policy Options and Emerging Policies for Discussion

The following draft policies have been devised in response to the Vision / Objectives / Themes and policy options work, taking into consideration the evidence that has been gathered and the parish surveys / consultations that have taken place to date.

The Policy Options set out various different approaches that could be taken to address particular issues.

For each policy, we have considered what does the policy need to do:

- What should the policy achieve?
- What needs to happen?
- What will happen if we do nothing?
- Do we have sufficient evidence to support the policy?
- Is the issue sufficiently related to planning or is it more of a community aspiration?

Do you agree with the broad direction / wording of the draft Policies or do you think other approaches should be taken?

If so, what should be changed in order to address particular issues, and how should the draft policies be updated / replaced etc?

Please let us have your suggestions on our online survey (link or QR code below) or you can request a paper copy if required.

<https://www.surveymonkey.co.uk/r/NoakBridge2023>



Housing Theme

New Infill Housing and Redevelopment of Sites to Provide New Housing

The following options have been considered -

- Demonstrate high quality design as highlighted in the Noak Bridge Character Appraisal and Design Code
- Respect the local character of the area as highlighted in the Noak Bridge Character Appraisal and Design Code
- Schemes to be of appropriate scale, bulk, height, density, plot coverage and mass that is in-keeping with the local area
- Development shall not obstruct any important views and it shall maintain appropriate gaps between buildings
- Ensure the amenities of residents including privacy and daylight / sunlight
- Include suitably sized front and rear gardens as highlighted in the Noak Bridge Character Appraisal
- Provide appropriate hard and soft landscaping and boundary treatment
- Provide solutions to ensure biodiversity net gain is achieved
- Provide car charging facilities

From this we recommend the following policy wording:

Policy 1 – Infill and Redevelopment to Provide New Housing

Infill development or redevelopment of previously developed land or buildings will only be considered acceptable within the built part of the settlement of Noak Bridge. The areas outside the built part of the settlement are considered to be open countryside.

All such proposals will only be supported where it is demonstrated that:

- the proposal is of high-quality design and respects the local character of the area, as highlighted in the Noak Bridge Design Code;
- the proposed scheme is of an appropriate scale, bulk, height, density, plot coverage and mass in keeping with the local area
- the development does not obstruct any important views and maintains appropriate gaps between buildings to ensure that it will not have an adverse impact on the residential amenity of the local residents including privacy and daylight / sunlight
- the development proposal provides suitably sized front and rear gardens together with adequate soft and hard landscaping works, as highlighted in the Design Code
- the proposal provides appropriate hard and soft landscaping and boundary treatment



- the proposal provides solutions to ensure biodiversity net gain is achieved
- the proposal provides an appropriate level of car charging facilities

Extensions to Existing Dwellings

The following options have been considered -

- Be of an appropriate scale, bulk and mass etc
- Prevent over-development of sites
- Demonstrate similar materials and design as the existing property or justification for a different approach
- Provide adequate levels of privacy for occupiers
- Avoid negative impact on the amenities of neighbouring properties
- Conserve the historical significance of designated and non-designated heritage assets
- In keeping with the Noak Bridge Essex Design Guide standards as set out in the Character Appraisal and Design Code

From this we recommend the following policy wording:

Policy 2 – Extensions to Existing Dwellings

Development proposals for residential extensions will be supported where they will not result in over development of the site and subject to the following considerations:

- the proposal is of an appropriate scale, size and mass and the materials proposed and design have been informed by the Essex Design Guide standards as set out in the Noak Bridge Character Appraisal and Design Code.
- extensions of contemporary and innovative design must be accompanied by adequate evidence and justified accordingly within the Design and Access statement to demonstrate how it accords with the character of the area;
- the proposed extensions must demonstrate how the significance of any designated and non-designated heritage assets including their setting is preserved or enhanced where possible;
- the proposed extensions must be subordinate to the original dwelling to ensure that the original dwelling can still be read
- there will be no adverse impact on the amenities of neighbouring properties;
- all extensions which are within close proximity to habitable room windows of neighbouring dwellings will need to be supported by a daylight and sunlight assessment to ensure that there are adequate levels of privacy for existing occupiers.



Replacement Dwellings

The following options have been considered -

- Support subject to it not being identified as a designated / non designated heritage asset
- Should not be an identified locally important building
- Contributes positively towards the landscape character
- Does not harm the setting of the Green Belt or the landscape character
- Design should enhance the character and appearance of the area as highlighted in the Noak Bridge Character Appraisal and Design Code
- Shall be constructed in the same physical location as the original property (unless justified)
- Shall accord with general redevelopment principles and be in keeping with the Noak Bridge Character Appraisal and Design Code

From this we recommend the following policy wording:

Policy 3 – Replacement dwellings

Proposals for the replacement of a dwelling will be supported, as long as they meet the following conditions:

- ensure that the replacement dwelling will be in keeping with the character of the area as highlighted in the Noak Bridge Character Appraisal and Design Code;
- ensure it does not harm the setting of the Green Belt;
- it will include sufficient landscaping to contribute positively towards the wider landscape character of the area;
- the dwelling to be replaced is not identified as a designated / non-designated heritage asset. The list with all identified heritage assets within the NDP area can be seen in Appendix X of the Noak Bridge xxxx document;
- the design, siting, appearance and materials proposed must accord with the recommendations presented in the Noak Bridge Design Code or justified in a Design and Access statement based on a contextual analysis of the area where they differ;
- the new dwelling must be positioned within the same location as the original property and face in the same direction, unless environmental and amenity factors prevent this.

Housing Mix / Different Housing Types

The following options have been considered -

- Consideration for development of specialist homes (bungalows, small flat blocks, older person homes etc)
- Meet the demonstrable needs of the local community in terms of size, tenure, and form
- Larger development to provide lower density housing



- recognise that the development is subject to 30% affordable
- Permit development within village built up area

From this we recommend the following policy wording:

Policy 4 – Housing Mix

On schemes of ten or more dwellings, proposals for residential development will be required to demonstrate that the mix of dwelling types, tenures and sizes are appropriate and relate to the needs of current and future households in the NDP area. This may include consideration of the need for specialist housing (bungalows, sheltered flats, older person homes etc), lower density larger family housing, affordable housing and First Homes.



Environment and Green Space Theme

Green Belt

The following options have been considered -

- Protect and preserve the openness and permanence of the Green Belt from harm
- To reflect and supplement national policy for Green Belts in NPPF as well as Local Plan Green Belt policies
- Inappropriate development not supported except in Very Special Circumstances ('VSCs')

From this we recommend the following policy wording:

Policy 5 – Green Belt

A. The Green Belt is shown on the Policies Map. The Green Belt will continue to be protected to maintain its openness and permanence.

B. Development proposals in the Green Belt will be determined against principles set out in the policies of the development plan and NPPF. Proposals for inappropriate development will not be supported except in very special circumstances.

Landscape Character

The following options have been considered -

- Retention of the distinct rural character
- Preserve the openness of the Green Belt
- Preserve important views in and out of the settlement (including those in Conservation Area)
- Minimise impact of intensive uses on the landscape
- Manage the impacts caused by intensification of existing / new recreational uses

From this we recommend the following policy wording:

Policy 6 – Landscape Character

Development proposals should demonstrate how they preserve or enhance the landscape character of the NDP area, taking into consideration the recommendations of the Noak Bridge Design Code.



Proposals should reflect the characteristics which define the character of the wider landscape which is sited within the Metropolitan Green Belt or its setting including:

- Protecting the historic pattern of fields, watercourses, roads, rights of way and boundaries (hedgerows, trees, walls etc) as shown in figure x.
- Maintaining the role the landscape plays in underpinning the character, special qualities and openness of the Green Belt and its setting
- Preserving important views in and out of the settlement (as defined on plan xx)
- Protecting the rural character of highways and Public Rights of Way as shown in figure x.
- Maintaining a buffer to avoid the coalescence of built form between Noak Bridge and Crays Hill
- Minimising the impact of intensive uses on the landscape such as sports and recreation facilities, agricultural and equestrian development, camping facilities, employment facilities, and recycling facilities.
- Mitigating the harm to the landscape character arising from intensification of existing and new recreational uses located outside or on the edge of the settlement

Biodiversity

The following options have been considered -

- Developments to conserve, enhance and provide a net gain in the biodiversity of the area
- To require an Ecological Impact Assessment if the proposal affects a designated site (e.g. Noak Bridge Nature Reserve)
- Protect and enhance local habitats, species (eg Roe deer, Muntjac deer, Swifts, Hedgehogs, bees etc and provide appropriate mitigation) and wildlife corridors
- Avoid the loss of significant trees and vegetation
- Provide owl, bird and bat boxes etc on all new residential developments

From this we recommend the following policy wording:

Policy 7 – Biodiversity

Development proposals should maintain and enhance the local biodiversity of the NDP area including the maintenance and creation of wildlife corridors within the NDP area as shown on figure x.

Existing wildlife corridors in adjacent Parishes should be extended into the NDP area where appropriate (see figure x).

Proposals should be accompanied by surveys which assess the impact of the development on local biodiversity.

All development proposals in the NDP area should seek to deliver a biodiversity net gain of at least 10% having regard to the requirements of Section 40 of the Natural Environment and Rural Communities Act 2006 and section 15 of the National Planning Policy



Framework. Applicants should provide evidence of the means by which a net gain can be achieved through enhancement measures as part of their planning applications.

Noak Bridge Nature Reserve

The following options have been considered -

- Prevent pollution and contamination
- Protect the setting and landscape character
- Improve the ecological quality of the wider area that is linked to the site by hedgerows and other natural / semi-natural corridors

From this we recommend the following policy wording:

Policy 8 – Noak Bridge Nature Reserve

In order to protect the Reserve from the adverse effects of development, proposals in proximity to or affecting Noak Bridge Nature Reserve SINC visually or physically should:

- prevent pollution and contamination of the Reserve;
- protect the setting and landscape character of the Reserve; and
- support the maintenance and creation of wildlife corridors to and from the Reserve.
- provide for a suitably sized landscape buffer

Green and Blue Infrastructure, Landscaping and Planting

The following options have been considered -

- Support enhancement or creation of new green and blue infrastructure
- Prevent loss or damage to existing watercourses, water bodies, trees and woodland from development
- Ensure that adequate tree survey information is provided
- Tree replacement at a ratio of 2:1 and with new trees at 1,100 saplings per hectare (residential) and 2 trees per 50m² (non-residential)
- Mitigate adverse impacts on public rights of way, as required

From this we recommend the following policy wording:

Policy 9 – Green and Blue Infrastructure, Landscaping and Planting

Proposals for the expansion of the network of the green and blue infrastructure of the NDP area will be supported.



New development that could potentially result in the loss or damage to existing watercourses, water bodies, trees and woodland will not be supported, unless appropriate justification is provided.

Proposals that affect protected trees or their setting shall be accompanied by a tree survey and arboricultural impact assessment which will provide information on how the development will affect tree root protection zones, crown spread, the setting of the affected trees, and how future pressure to remove or alter the protected trees will be avoided.

Development proposals that would result in the removal of unprotected trees, will be expected to provide appropriate landscaping enhancements and replace those trees at a ratio of 2:1 and with new trees at 1,100 saplings per hectare (residential) and 2 trees per 50m² (non-residential)

Local Green Spaces

The following options have been considered -

- Protect designated Local Green Spaces where development is allowed only in very special circumstances.
- Policy to list specific sites (NB the sites in the list below have begun to emerge from the draft Local Green Spaces study). List and location of potential sites is shown in draft policy and on plan below.

From this we recommend the following policy wording:

Policy 10 - Local Green Spaces

The Neighbourhood Plan designates the following locations as Local Green Spaces:

LG-1	Noak Bridge Village Green
LG-2	Noak Bridge Sports Field
LG-3	The pond at Durban Lane
LG-4	The pond and green space at Handleys Chase
LG-5	Open Space at Fore Street
LG-6	Green Space at Cavendish Way
LG-8	Noak Bridge Nature Reserve
LG-10	Field to the east of Martindale Avenue
LG-11	Bridge Street Green Spaces
LG-12	Hazel Close Open Space
LG-13	Saling Green Open Space
LG-14	Bridgecote Lane green spaces
LG-16	Laindon Ponds
LG-17	Green Space at Eastfield Road
LG-18	Green Space South of Wash Road
LG-19	Medical Centre corner at Bridge St - Ladysmith Way
LG-20	Green on corner of South Wash Road



Proposals for development on these Local Green Spaces will only be permitted in very special circumstances as set out in the NPPF.



Important Views

The following options have been considered -

- Protect important views (as listed in policy and shown on maps below (draft only)). Some of these have come from the existing conservation area appraisal, while others have come from site visits and character appraisal work. The list is only draft at this stage
- Should views only be out of village?
- Or should they be into and across the village and conservation area too?
- What views would the local community wish to protect?

From this we recommend the following policy wording:

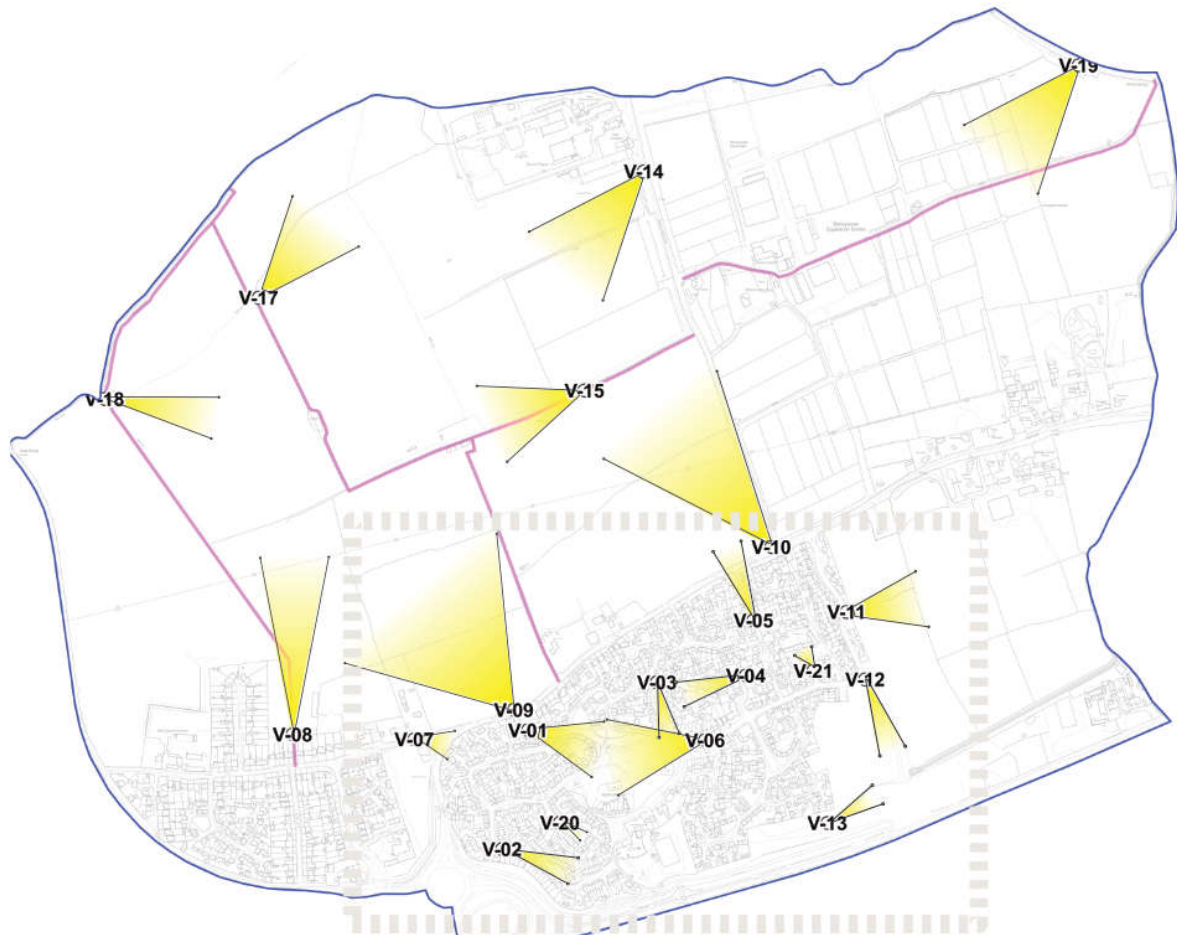
Policy 11 – Important Views

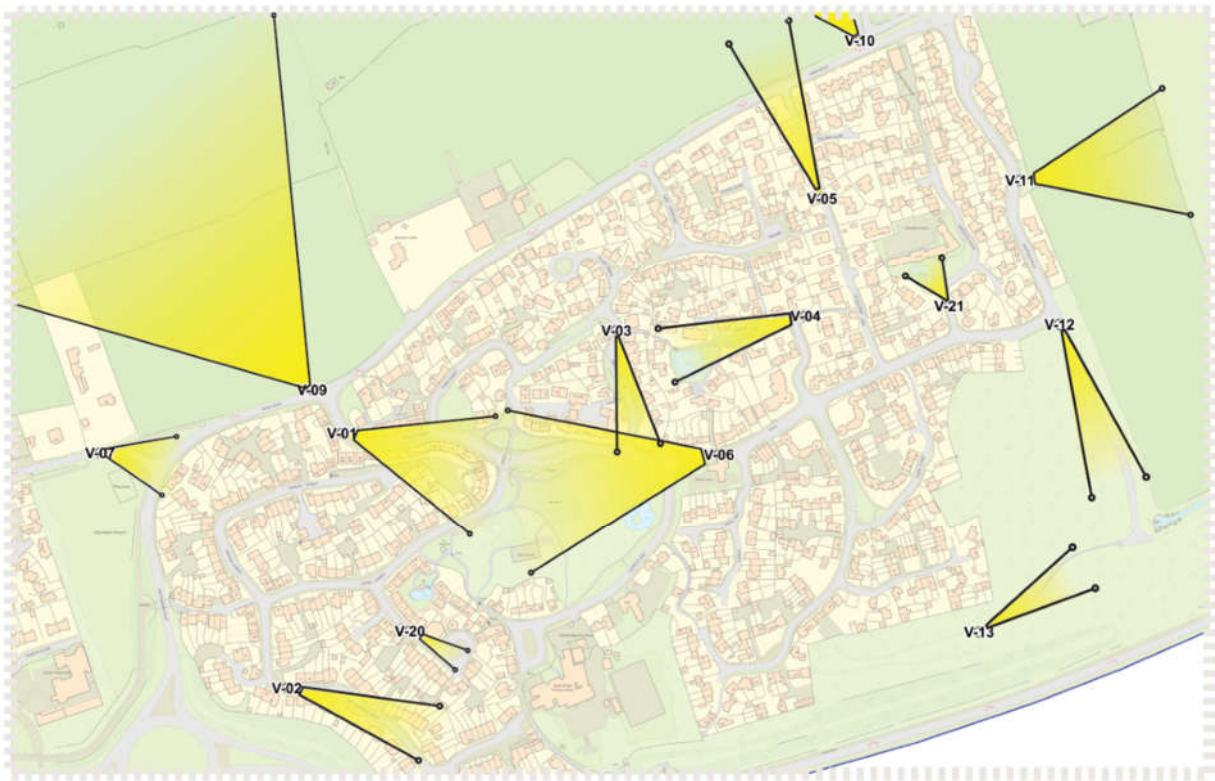
The Neighbourhood Plan identifies the following Important Views on Figure xx. These views are drawn from the Noak Bridge Character Appraisal (see Section xx):



[Insert list V1-V19 with names of views – see maps below for location]

Development proposals should preserve or enhance the local character of the landscape and through their design, height and massing should recognise and respond positively to the various Important Views. Development proposals which would have a significant adverse impact on an identified Important View will not be supported.





Flooding and Drainage

The following options have been considered -

- Demonstrate that new developments will not increase the risk of flooding
- Provide an appropriate foul drainage strategy when necessary (including appropriate treatment for new dwellings to prevent discharge into watercourses)
- Adopt appropriate and maintainable sustainable drainage systems as part of new developments

From this we recommend the following policy wording:

Policy 12 – Flooding and Drainage

Development will be supported where it is demonstrated that surface water drainage will not add to the existing site runoff or cause any adverse impact to neighbouring properties and surrounding environment. This should be demonstrated through a detailed flood risk assessment in respect of sites that fall within Flood Zones 2 and 3, sites at risk of surface water flooding, sites of 1 hectare or larger and sites that have historical evidence of flooding.

The following areas have been identified as particularly vulnerable to flooding:

Fluvial Flooding

- The River Crouch corridor



- Land to the north of the Noak Bridge Nature Reserve (the former Local Plan policy H10 site)
- The watercourse corridor to the west of Pipp's Hill Road / Harding's Elms Road

Surface Water Flooding

- Part of the A176 underneath the A127 suffers surface flooding and at times is closed off and traffic is redirected
- Land to the north of the Noak Bridge Nature Reserve (the former Local Plan policy H10 site)
- The eastern edge of the Plan Area can be affected by flooding in the adjacent Parish.

In order to sustainably manage flood risk on site and to ensure flood risk is not increased elsewhere, development will be required to incorporate a Sustainable urban Drainage Systems (SuDS) scheme which follows the drainage hierarchy. Schemes will be detailed within a site-specific flood risk assessment and designed to current policy and best practice, including taking account of climate change, to manage rainfall run-off rates and volumes to existing pre-development rates and mimic the natural drainage regime of the site.

Where possible SuDS schemes should be designed so as to contribute towards the landscaping and biodiversity of the development site and provision should be made for their future maintenance.



Design and Conservation Theme

Sustainable Development

The following options have been considered -

- Contribute to vitality and viability of the Plan Area
- Locate development near facilities or enable use of sustainable transport modes / improve accessibility
- Secure the provision of communications infrastructure such as high-speed broadband for new development (community aspiration for existing residents)
- Maximising the supply of energy from renewable sources
- Promote use of energy efficient materials and construction
- Use grey water recycling and rainwater harvesting
- Ensure nutrient neutrality

From this we recommend the following policy wording:

Policy 13 – Sustainable Development

All new development proposals should incorporate measures that will mitigate the effects of climate change. Proposals which achieve the following will be supported:

- reduction of carbon consumption
- use of grey water recycling and rainwater harvesting
- include renewable energy generation measures
- use of energy efficient materials and construction techniques
- maximization of the supply of energy from renewable sources
- nutrient neutrality
- access to high speed communications infrastructure
- accessibility to local facilities and services

Proposals should highlight in the Design and Access Statement how they contribute to the vitality and viability of the NDP Area.

Air Quality

The following options have been considered -

- Protect residents from impacts of development
- Should policy cover emissions from new development, existing businesses as well as traffic?
- Should policy cover operational and construction phases of development?



From this we recommend the following policy wording:

Policy 14 – Air Quality

To protect air quality where it is of a high standard and to improve it elsewhere, particularly in areas close to the A127 and busy road junctions, development proposals will only be supported provided they meet the following conditions:

1. Proposals that are likely to have a significantly harmful impact on local air quality will be required to provide an Air Quality Assessment (AQA). Where the AQA shows that constructional or operational characteristics of the development would cause harm to air quality, including cumulatively with other planned or committed development, planning permission will be refused unless measures are adopted to acceptably mitigate the impact. Similarly developments that introduce sensitive receptors (such as housing, schools, care homes and hospitals) in locations of poor air quality will not be acceptable unless designed to mitigate the impact.
2. Development that is likely to produce an odour should demonstrate that there will be no negative effect on residential development in the area.
3. Consideration should be given to the role of tree planting in improving and maintaining air quality.

Settlement Character

The following options have been considered -

- Development to demonstrate how it preserves / enhances features that define the character of the settlements (highlighted in the Noak Bridge Character Appraisal and Design Code and as defined in policy and on map below). NB. the character areas are in the draft character appraisal and the boundaries are therefore not yet fixed.

From this we recommend the following policy wording:

Policy 15 - Special Character Areas

Where planning permission is required, development (including extensions, alterations, and redevelopment) within the following Special Character Areas:

- 1 - Southwest of Bridge Street
- 2 - North of Bridge Street
- 3 - Gatelodge Estate
- 4 - The School and Green
- 5 - East of the village
- 6 - West of South Wash Road
- 7 - Pre-1900 farmsteads and historic buildings
- 8 - Recreation / commercial buildings
- 9 - Open Countryside recreation and equestrian uses



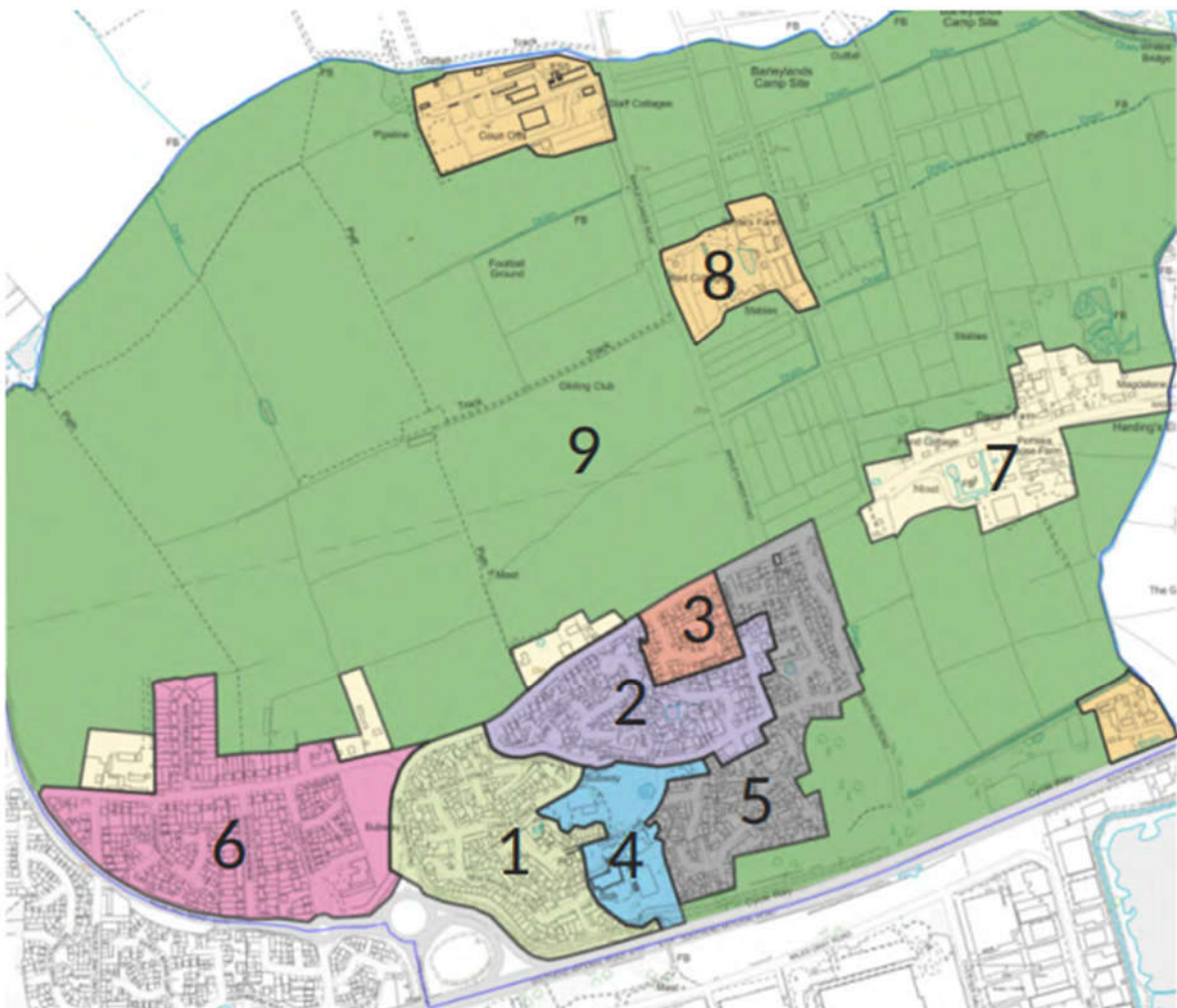
as identified on figure x will be permitted provided that:

- the resulting sizes of plots when sub-divided, are not significantly smaller than those in the immediate vicinity; and
- the development's size, scale, layout, type, siting, detailed design and appearance are compatible with the special character of that Area in terms of the features, characteristics or elements which are particularly distinctive to the NDP area.

Planning applications which better reveal key features or landmarks in these areas as identified in figures x and x of this NDP and which enhance the roadside landscape without reducing personal security or privacy, shall be supported.

Proposals that use native species landscaping including hedge planting which reflects the character of the area shall be supported.

Any application which results in the loss of frontage trees or hedgerows in an identified Area of Special Character (see figure x) will not be supported unless a clear justification is presented which explains how the benefits would outweigh the loss or harm.



Design Principles

The following options have been considered -

In line with the findings of the emerging Noak Bridge Character Appraisal and Design Codes (NB the following are examples – the detail to be determined once these studies are complete):

- Height of buildings should not exceed two storeys
- Development to be of appropriate mass, scale, layout, plot size, density and landscaping
- Appearance of new buildings should be informed by the existing buildings in the locality (as highlighted)
- Where possible improve connectivity between walking and cycling routes
- Provide garden sizes / amenity spaces of suitable size, as identified in the Character Appraisal
- Mitigate negative impacts on local narrow lanes
- Protection of designated and non-designated heritage assets and their wider setting, eg the conservation area

From this we recommend the following policy wording:

Policy 16 – Design Principles

New development should demonstrate how it preserves and enhances features that define the character of the individual area, as highlighted in the Noak Bridge Design Code.

All development will be expected to show how careful consideration has been given to the following:

- The height of proposed buildings, which should not exceed two storeys (as set out in the Design Code);
- The scale, massing, layout, landscaping and appearance should be modest and reflect the prevailing character and attributes that are specific to the individual Character Area as set out in the Character Appraisal;
- The use of traditional materials and local building styles. Proposals incorporating building materials and styles that are not mentioned in the Design Guide will need to be justified;
- Provision of adequate depth front and rear gardens and plots sizes and coverage with appropriate landscaping, as identified in the Design Code;
- Ensuring adequate mitigation of adverse impacts on narrow rural lanes;
- The integration, retention and enhancement of natural landscape features including trees and hedgerows;
- Improving connectivity between the development and existing walking and cycling routes
- Protection of designated and non-designated heritage assets and their wider setting, eg the conservation area
- Provision of appropriate levels of parking for new residential, commercial and community uses, including sufficiently wide roads to accommodate on-street parking where necessary for residential and commercial vehicles



Development that propose new residential development will need to demonstrate how the proposal accords with the Design Code.

Noak Bridge Conservation Area

The following options have been considered -

- Use of traditional materials and local building styles promoted. Modern building materials and styles not in keeping with the area are to be justified
- The principles of the Noak Bridge conservation area should be adhered to
- There must be a review of the NB conservation area which is currently failing in enforcement

Designated and Non-Designated Heritage Assets

The following options have been considered -

- Consideration given not only to the setting of listed buildings, but to locally important buildings
- Protect heritage assets from harm by applying the heritage balance
- Protection of designated and non-designated heritage assets and their wider setting inc conservation area

From this we recommend the following policy wording:

Policy 17 – Non-Designated and Designated Heritage Assets (including the Conservation Area)

The NDP Area's designated heritage assets and their settings, both above and below ground including the Conservation Area, listed buildings and archaeological sites (as shown on plan x and described in appendix x) will be conserved and enhanced for their historic significance and their important contribution to local distinctiveness, character and sense of place.

Proposals for development that affect non-designated historic assets in the NDP area (see figure x) will be considered, taking account of the scale of any harm or loss and the significance of the heritage asset.

Proposals to review the Noak Bridge Conservation Area Appraisal will be strongly supported.



Conversion of Rural Buildings

The following options have been considered -

- Adopt sympathetic approach having regard to the existing form, scale and relationship with the locality
- Support proposals that will enhance historic or traditional buildings
- Where possible, enhance the significance of identified non-designated heritage assets

From this we recommend the following policy wording:

Policy 18 – Re-use of Rural Buildings

The conversion of rural buildings will be encouraged where the design has been informed by the Noak Bridge Design Code and reflects the character of the local area. Proposals which adopt a sympathetic approach to design having regard to the existing form, scale, appearance of the building and relationship with the locality will be supported.

Evidence will be required which demonstrates that the building is structurally suitable for conversion and that there will be no adverse impacts on biodiversity as a result of the conversion.

Proposals for the conversion of non-designated and designated heritage assets where the significance of the asset will be enhanced will be supported.

Dark Night Skies

The following options have been considered -

Development proposals to conserve and enhance relative tranquillity

- Ensure measured and observed sky quality in the surrounding area is not reduced
- Protect designated assets and habitats from unnecessary lighting
- Preserve the rural character of the Green Belt
- Avoid building designs that result in increased light spill from internal lighting

From this we recommend the following policy wording:

Policy 19 – Dark Night Skies

1. Development proposals that conserve and enhance relative tranquillity, in relation to light pollution and dark night skies, and comply with other relevant policies will be permitted, provided it can be demonstrated that they meet or exceed the Institute of Lighting Professionals guidance and other relevant standards or guidance (CIE 150:2003 Guide on the Limitation of the Effects of Obtrusive Light from Outdoor Lighting Installations, or any equivalent replacement/updated guidance) for lighting within environmental zones, and have regard to the following hierarchy:



- a) The installation of lighting is avoided;
- b) If lighting is installed it is necessary for its intended purpose or use and any adverse impacts are avoided; and
- c) If it is demonstrated that (a) or (b) is not achievable, then adverse impacts are appropriately mitigated.

2. To be appropriate, lighting for development proposals should ensure that:

- The measured and observed sky quality in the surrounding area is not reduced;
- Lighting is not unnecessarily visible in nearby designated and key habitats;
- The visibility of lighting from the surrounding Green Belt landscape is avoided; and
- Future building design that results in increased light spill from internal lighting is avoided, unless suitable mitigation measures are implemented.

Rural Economy

The following options have been considered -

- Encourage developments enabling new rural industries subject to ensuring that they:
 - i. Prevent significant harm to heritage / local biodiversity / enhance the local landscape
 - ii. Ensure no harm to the openness of the Green Belt
 - iii. Are sited in an appropriate location where they do not cause a nuisance with regard to noise, smell, traffic generation or visual impact
 - iv. Are appropriate to the local economy and sustainably located so that they are accessible by non-car modes

From this we recommend the following policy wording:

Policy 20– Rural Economy

New employment development should be focused upon providing workspace for existing or new small-scale businesses. Proposals should:

- a. Be appropriate to the local economy and sustainably located so that they are accessible by non-car modes; and
- b. Avoid harm to the openness of the Green Belt; and
- c. Avoid harm to heritage / local biodiversity / local landscape assets; and
- d. Not be located on the best and most versatile agricultural land (except where it forms part of the conversion of existing buildings), and
- e. Not involve the loss of a residential dwelling; and
- f. Not unacceptably impact on the amenity of neighbouring properties or other Parishioners by way of noise, vibration, light, visual impact or smell; and
- g. Not lead to a harmful increase in traffic (particularly HGV or other commercial traffic) on narrow rural roads and lanes.

Given the constrained road network in the NDP area, it is anticipated that major development proposals should be accompanied by a Transport Statement and Travel



Plan. Applicants will be expected to enter into lorry routing agreements where appropriate to ensure that the rural road network is not adversely impacted.

Commercial activities that require 24 hour operation / lighting will not be supported unless it can be demonstrated that there will be no adverse impact to the community.



Education, Health and other Local Services Theme

Noak Bridge Primary School

The following options have been considered -

- Ensure larger developments provide contributions (former Local Plan policy H10) for additional education facilities to ensure local school children get a local education without having to travel across the Borough
- The existing school does not have capacity to expand
- Additional local school places will be required to meet increase of new development
- Provision of homes for the older population would prevent the need for added school places and assist with congestion problems on Wash Road when building family homes

From this we recommend the following policy wording:

Policy 21 – Noak Bridge Primary School

Noak Bridge Primary School is at full capacity and with limited further opportunity to expand on site. Therefore all major residential developments should mitigate the impact of the development on existing education services and facilities serving the NDP area, including in particular the Noak Bridge Primary School and the Pre School that is located in the grounds of the Primary School. Mitigation should take the form of provision of education facilities on a new site serving the development or the enhancement of existing facilities.

Health Facilities

The following options have been considered -

- Encourage development of new or expanded health facilities as part of the delivery of new strategic housing developments
- Health facilities at Noak Bridge are already impacted by high patient numbers, any development must provide funding towards enhancing the existing constrained service
- Need to know or have intent on proposals towards health facilities

From this we recommend the following policy wording:

Policy 22 – Health Facilities

All major residential developments should be informed by discussions with the health authority, GP practice(s) and the local planning authority to ensure that the impact of the



development on existing health care services and facilities serving the NDP area is mitigated.

Community Facilities

The following options have been considered -

- Resist the loss of existing community facilities
- Protection of valued facilities (as listed in policy)
- Encourage the introduction of new facilities to the wider area (including education)
- Support sport activities
- What are the facilities that the community would wish to be protected by this policy?

From this we recommend the following policy wording:

Policy 23 – Community Facilities

The following community facilities have been identified and depicted in Appendix X as playing an important role in the sustainability of the NDP area and the wellbeing of the local community:

*List to be agreed

Proposals that improve the condition of the above community facilities and do not result in harm to the amenity of the surrounding area will be supported.

Proposals for the change of use of the above facilities will be resisted and only allowed in specific circumstances including where:

- Evidence demonstrating that the current location or operation of the community facility is not economically viable.
- The facility is no longer needed or has been replaced by a facility of equal size and value to the community, in an equally accessible location.

Applicants will need to demonstrate that development proposals located in close proximity to or forming part of an identified community facility will not adversely affect the viability, utility or amenity of the community facility.

Funding New Facilities / Infrastructure

The following options have been considered -

- Priorities for CIL and S106 spending
- What would the local community wish to see CIL and S106 monies spent on within the parish?



From this we recommend the following policy wording:

Policy 24 – Funding New Facilities / Infrastructure

Active support will be given to development which is consistent with the other policies in this Neighbourhood Plan where it secures the provision or funding of infrastructure that directly mitigates the effects of the development, through Section 106 agreements or the Community Infrastructure Levy.

A list of the funding priorities is set out in Section xx of this Neighbourhood Plan.



Transport and Roads Theme

Accessibility and Road Safety

The following options have been considered -

- Mitigate road safety impacts arising from new development
- Promote travel plans in new commercial, community or large scale residential developments
- Management of the use of Electric Scooters

Sustainable Transport

The following options have been considered -

- Encourage sustainable means of transport and reduce reliance on private cars
- Incorporate safe and convenient walking and cycling routes to local services from existing and all new residential developments.

From this we recommend the following policy wording:

Policy 25 – Highways, Safety and Sustainable Travel

All new development should:

- Be designed to avoid adverse impacts on road safety within the NDP area
- Where justified, secure road safety improvements particularly for pedestrians and cyclists.
- Maximise opportunities for sustainable transport both within and between Noak Bridge and the surrounding settlements
- Incorporate safe and convenient walking and cycling routes to local services from new residential developments.
- Provide safe vehicular and pedestrian access, egress and appropriate visibility to serve all new developments
- Promote travel plans for all new commercial, community or residential developments
- Be accompanied by sufficient information to demonstrate how an increase in traffic (including HGV movements) which may be generated by a proposal has been taken into consideration
- Limit additional businesses from locating on Wash Road and Barleylands Road due to traffic generation / safety issues

Where traffic calming measures are proposed, these should be designed so as not to increase noise or have an adverse impact on residents or users of the route.



Parking

The following options have been considered -

- Provide adequate safe off-road parking on every new development
- Ensure new development provides sufficient parking and access / servicing
- Parking to be off-street in preference to on-street
- Should parking follow local authority parking standards?
- Safe access, egress and appropriate visibility to serve all new developments

From this we recommend the following policy wording:

Policy 26 – Parking

1. Development proposals must make adequate provision for parking and access for deliveries, service vehicles, tradesmen working on-site and social visitors as well as for residents or workers.
2. Development proposals must, wherever possible, provide adequate parking on-site and not rely on on-street parking. Development that includes a reliance on parking on existing streets shall not be permitted where the streets are narrow, already heavily trafficked, have identified parking issues, or where such on-street parking would impact on the safety of road users or adversely impact the character of the area.



Community Aspirations – Infrastructure / Community Facilities / Aspirations

- Support for local projects and new facilities
- Secure funding of infrastructure that mitigates the effects of developments
- Pre-school extension
- Provision for safe use of E Scooters including a management strategy for safe use, charging and storage of E-Scooters on the public highway
- A limit on the parking of commercial vehicles to no more than 3500 kg weight limit
- Consistently ensure LPA enforce Conservation Area Appraisal requirements in design, materials etc.

Community Aspirations

These are not policies but will be listed separately to cover any non-land use issues raised by the community that can be usefully included in the NDP.

